



Dutchess County Clerk Recording Page

Record & Return To:

Date Recorded: 9/29/2015

Time Recorded: 3:12 PM

ROBERT BOOLUKUS ESQ
1065 MAIN ST

FISHKILL, NY 12524

Document #: 02 2015 6194

Received From: NEW VENTURE ABSTRACT LTD

Grantor: O'DONNELL & SONS INC

Grantee: BEEKMAN TOWN

Recorded In: Deed

Tax District: Beekman

Instrument Type: OFFER

Examined and Charged As Follows :

Recording Charge: \$90.00
Transfer Tax Amount: \$0.00
Includes Mansion Tax: \$0.00
Transfer Tax Number: 1235

Number of Pages: 9

*** Do Not Detach This Page

*** This is Not A Bill

Red Hook Transfer Tax:

RP5217: N

TP-584: Y

County Clerk By: cha

Receipt #: 106447

Batch Record: 2021

Bradford Kendall
County Clerk



0220156194

Deed offer 8/9
(Tas 8) 85
90

IRREVOCABLE OFFER OF CESSION

THIS AGREEMENT made this 8th day of August, 2014 between
O'DONNELL & SONS, INC., a corporation duly organized and existing under the laws of the
State of New York, with its principal office located at 218 Van Wyck Lake Road, Fishkill, New
York 12524 (hereinafter "O'Donnell") and the Town of Beekman, a municipal corporation of the
State of New York, with its principal office located at Town Hall, 4 Main Street, Poughquag,
New York 12570 (hereinafter the "Town").

WITNESSETH:

That O'Donnell, in consideration of ONE AND NO/100 DOLLAR (\$1.00) actual and
lawful money of the United States and other good and valuable consideration constituting final
approval subject to conditions by the Town of Beekman Planning Board of a subdivision known
as "Stone Ridge Estates", Dutchess County, New York, hereby makes and grants to the Town:

An Irrevocable Offer of Cession and declaration for public use, all of the streets,
highways, and areas devoted to public improvements depicted on the subdivision map which was
the subject of the final approval by the Town of Beekman Planning Board, as aforesaid, said
pieces of real property being more specifically, and separately, described on the Schedules
annexed hereto and made part hereof, said Schedules being summarized as follows:

Schedule A

See attached. *proposed deed. the original of which shall be delivered
to the Town to be held in escrow pending dedication.*

This Offer of Cession of the real property as aforesaid, shall be irrevocable by O'Donnell,
shall run with the land, and shall bind the successors and assigns of O'Donnell.

Auth to:
Robert Boolukas, Esq
1065 main street
Fishkill, NY 12524

This Offer of Cession shall become invalid, void and of no effect in the event that O'Donnell shall not satisfy the conditions of the final subdivision approval or fails to file the approved subdivision map within the respective time requirements of Town Law Section 276 pertaining to such matters.

O'Donnell and its successors reserves all right, title and interest in and to water and sewer lines within the roads and access ways being offered.

The Town may accept actual dedication of the aforesaid public improvements and real property devoted thereto, by means of subsequent deeds or easements , after completion of the public improvements on said property, rather than by exercise of acceptance of this Offer of Cession. Copies of proposed deeds and grants which O'Donnell agrees to execute, shall be furnished to the Town.

Future acceptance of this Offer of Cession shall bestow upon the Town title to the fee or easements described herein and the right to enter upon the subject real property for the purposes of making and maintaining any uncompleted public improvements required under the aforesaid subdivision approval.

In the event that O'Donnell or any of its successors or assigns, attempts to bar entry by the Town, or persons acting through or under said municipality, the Town will be entitled to collect from O'Donnell, or tis successors and assigns, any and all reasonable attorneys' fees and court costs necessary to enforce the Town's right herein.

O'Donnell will provide maintenance security for one year after the road has been dedicated and accepted by the Town. The maintenance security shall be in the form of a letter of credit or cash bond in an amount which is ten percent (10%) of the performance security naming the Town as beneficiary. The form of maintenance security must be approved by the attorney for

the Town.

IN WITNESS WHEREOF, O'Donnell has duly executed this Irrevocable Offer of
Cession the day and year first above written.

O'DONNELL & SOSN, INC.

By: _____

Sean O'Donnell, President

STATE OF NEW YORK)
)
COUNTY OF DUTCHESS)

ss.: _____

On the 8th day of August, in the year 2014, before me, the undersigned, a notary public in and for said state, personally appeared Sean O'Donnell, personally known to me or proved to me on the basis of satisfactory evidence, to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity and that by his signature on the instrument, the individual or the person upon behalf of which the individual acted executed the instrument and that such individual made such appearance before the undersigned in the Village of Fishkill, County of Dutchess, State of New York

Notary Public

~~ROBERT BOOLAKOS~~
~~Notary Public, State of New York~~
~~Qualified in Dutchess County~~
~~Registration No. 02804711036~~
~~My Commission Expires March 30, 2018~~

Kenneth M. Stenger
Qualified Dutchess County
Expires 7/31/17

Schedule A

THIS INDENTURE, made the 8th day of August, 2014.

BETWEEN

O'DONNELL & SONS, INC., a corporation organized under the laws of the State of New York, with its principal office located at PO Box 526, 218 VanWyck Lake Road, Fishkill, New York 12524

party of the first part, and

TOWN OF BEEKMAN, a municipal corporation with offices at 4 Main Street, Poughquag, New York 12570

party of the second part,

WITNESSETH, that the party of the first part, in consideration of Ten dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, situate, lying and being in the Town of Beekman, County of Dutchess and State of New York, same being the two roads as shown in a certain subdivision entitled "Stone Ridge Estates", Filed Map 12468, and more particularly described in "Schedule A" attached hereto and incorporated herein by reference.

SUBJECT to all covenants, easements and restrictions of record, if any, affecting the premises.

BEING the same premises conveyed to grantor herein from Beekman Home & Land Development, LLC, by deed dated March 25, 2014, and recorded in the Office of the Dutchess County Clerk on March 27, 2014, as Document #02-2014-1947.

TOGETHER with all right, title and interest, if any, of the party of the first part, in and to any streets and roads abutting the above-described premises to the center line thereof,

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the premises have been encumbered in any way whatever, except as aforesaid.

Stone Ridge Road & Halle Court

All that certain piece or parcel of land lying and situate in the Town of Beekman, County of Dutchess, and State of New York, shown on a certain map entitled, "Subdivision Plat of Stone Ridge Estates of Beekman prepared for Beekman Home and Land Development, LLC", to filed 02/25/2014 in the Dutchess County Clerks Office as Filed Map No. 12468, being more particularly bounded and described as follows:

Beginning at a point on the northerly line of Benton Moore Road distant 75.23' on a course of N 36°03'41" E along Benton Moore Road, from a proposed concrete monument on the northerly line of lands now or formerly New York State Electric & Gas (N.Y.S.E.G.), running thence,

1. N 08°56'19" W, 35.36', to a proposed concrete monument,
2. N 53°56'19" W, 55.81', to a point of tangency,
3. Northerly on a curve to the right having a radius of 175.00' and an arc length of 214.40', to a point of tangency,
4. N 16°15'22" E, 209.97', to a point of tangency at the intersection with the southerly line of Halle Court,
5. Westerly on a curve to the left having a radius of 25.00' and an arc length of 39.27', to a point of tangency and a proposed concrete monument,
6. N 73°44'38" W, 172.22', to a point of tangency and a proposed concrete monument,
7. Westerly on a curve to the left having a radius of 25.00' and an arc length of 25.41', to a point of tangency,
8. Southerly, westerly & northerly on a curve to the right having a radius of 70.00' and an arc length of 362.23', to a point of tangency,
9. Easterly on a curve to the left having a radius of 25.00' and an arc length of 25.41', to a point of tangency and a proposed concrete monument,
10. S 73°44'38" E, 172.22', to a point of tangency and a proposed concrete monument,
11. Northerly on a curve to the left having a radius of 25.00' and an arc length of 39.27', to a point of tangency at the intersection with the northerly line of Stone Ridge Road,
12. N 16°15'22" E, 243.54', to a point of tangency and a proposed concrete monument,
13. Northerly on a curve to the left having a radius of 25.00' and an arc length of 25.41', to a point of tangency,
14. Northerly, easterly & southerly on a curve to the right having a radius of 70.00' and an arc length of 362.23', to a point of tangency,

15. Southerly on a curve to the left having a radius of 25.00' and an arc length of 25.41', to a point of tangency and a proposed concrete monument,
16. S 16°15'22" W, 553.51', to a point of tangency and a proposed concrete monument,
17. Southeasterly on a curve to the left having a radius of 125.00' and an arc length of 153.14', to a point of tangency,
18. S 53°56'19" E, 55.81', to a point of tangency and a proposed concrete monument,
19. Easterly on a curve to the left having a radius of 25.00' and an arc length of 39.27', to the northerly line of Benton Moore Road,
20. S 36°03'41" W, 100.00', along Benton Moore Road, back to the point of Beginning.

SUBJECT to an Easement granted to the Stone Ridge Estates HOA, Inc. for two (2) circular islands within the cul de sacs of Stone Ridge Road and Halle Court as set forth on Filed Map No. 12486.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost or the improvements and will apply the same first to the payment of the cost of the improvements before using any part of the total of the same for any other purpose.

This conveyance is made to the Town of Beekman for highway and roadway purposes.

This conveyance is made in the normal course of business of Grantor and does not represent a conveyance of all or substantially all of Grantor's assets.


The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

O'DONNELL & SONS, INC.

By:

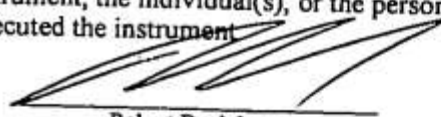

Sean O'Donnell, President

STATE OF NEW YORK)

COUNTY OF DUTCHESS)

SS.:

On the 8th day of August, in the year 2014 before me, the undersigned, a Notary Public in and for said State, personally appeared Sean O'Donnell, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.


Robert Boolukos
Notary Public, State of New York
No. 4711036
Qualified in Dutchess County
Commission Expires March 30, 2018

RECORD AND RETURN TO:

Town of Beekman
4 Main Street
Poughquag, New York 12570